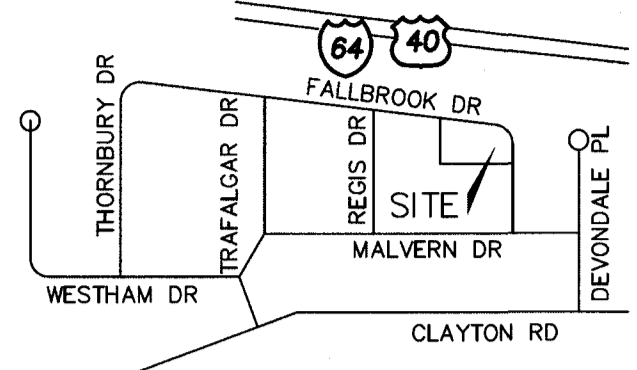


#3033 FALLBROOK FRONTENAC, MO

A TRACT OF LAND BEING LOT 29 OF "RADCLIFFE", AS RECORDED IN PLAT BOOK 62 PAGE 49,
SECTION 14, TOWNSHIP 45 NORTH, RANGE 5 EAST,
CITY OF FRONTENAC, ST. LOUIS COUNTY, MISSOURI
RESIDENCE PLOT PLAN



CALL BEFORE
YOU DIG!
1-800-DIG-RITE



LOCATION MAP
N.T.S.

SITE INFO:
N/F
CHRISTOPHER KOON & LISA ROSE WILLIAMSON KOON
D.B. 23088 PG. 396
LOC #010187
#3033 FALLBROOK DR.
43,984 SQ. FT. / 1.009 Ac.±

ZONING INFO:
R-1, ONE ACRE RESIDENCE
FRONT YARD SETBACK=60'
SIDE YARD SETBACK=15'
REAR YARD SETBACK=50'
HEIGHT RESTRICTIONS=35' OR 2½ STORIES
MIN. GREEN SPACE = 60%

BENCHMARK:

ST. LOUIS COUNTY BENCHMARK
BENCH MARK 13-098 ELEVATION 653.69 (NAVD 88)
1" ON SOUTH CORNER OF CAPSTONE TO 4" HIGH ORNAMENTAL STONE
GATEWAY TO "RADCLIFF SUBDIVISION"; NORTHWEST CORNER CLAYTON ROAD
AND TRAFALGAR DRIVE.

SITE BENCHMARK:

IRON ROD WITH CAP: ELEVATION 623.61 (NAVD 88)
FOUND IRON ROD WITH CAP MARKED "MERIDIAN" OF THE SOUTHWEST
CORNER OF THE SUBJECT TRACT AS SHOWN HEREON.

ABBREVIATIONS:

- CONC. - CONCRETE
- N/F - NOW OR FORMERLY
- P.B. - PLAT BOOK
- D.B. - DEED BOOK
- PG. - PAGE
- SQ. FT. - SQUARE FEET
- (R) - RECORD
- (S) - SURVEY
- FF - FINISH FLOOR
- TF - TOP FOUNDATION
- BF - BASEMENT FLOOR

LEGEND:

- W - UNDERGROUND WATER LINE
- G - UNDERGROUND GAS LINE
- DHW - OVERHEAD WIRE
- - UNDERGROUND SEWER LINE
- ===== BUILDING
- ELEC - YARD LIGHT
- UTILITY POLE
- UTILITY POLE W/ TRANSFORMER
- GUY WIRE
- ELECTRIC METER
- GAS METER
- WATER VALVE
- FIRE HYDRANT
- MAIL BOX
- A/C UNIT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- BUSH/SHRUB
- TREE
- DENOTES PERMANENT MONUMENT TO BE PLACED UPON COMPLETION OF GRADING AND ROADWAY IMPROVEMENTS 5/8" X 2" REBAR WITH METAL CAP STAMPED LS 307-D.
- DENOTES SEMI-PERMANENT MONUMENT.
- FOUND IRON PIPE
- CONC. MON./STONE
- + CROSS
- ← CROSS WITH ANCHOR

TREE CANOPY CALCULATIONS:

AREA WITHIN SETBACK LIMITS = 28,727 S.F.
MINIMUM 60% OF EXISTING TREE CANOPY REQUIRED WITHIN SETBACK LIMITS
TREE CANOPY TO REMAIN = 5,430 S.F. OR 41.62% OF EXISTING
NEED 23,988 S.F. TREE CANOPY

EXISTING GREEN SPACE CALCULATIONS:

HOUSE = 2,905 S.F.
DRIVE = 3,076 S.F.
WALKS = 351 S.F.
ENCLOSED PORCH = 410 S.F.
PORCH = 141 S.F.
CONC. POOL DECK = 857 S.F.
TOTAL = 6,883 (84.35% GREEN SPACE)

PROPOSED GREEN SPACE CALCULATIONS:

HOUSE = 4,439 S.F.
DRIVE = 4,872 S.F.
WALKS = 160 S.F.
OUTDOOR ROOM = 465 S.F.
PORCH = 160 S.F.
CONC. POOL DECK = 857 S.F.
TOTAL = 10,753 (75.55% GREEN SPACE)

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

FALLBROOK (35'w) DRIVE
(PRIVATE)

FALLBROOK (35'w) DRIVE
(PRIVATE)

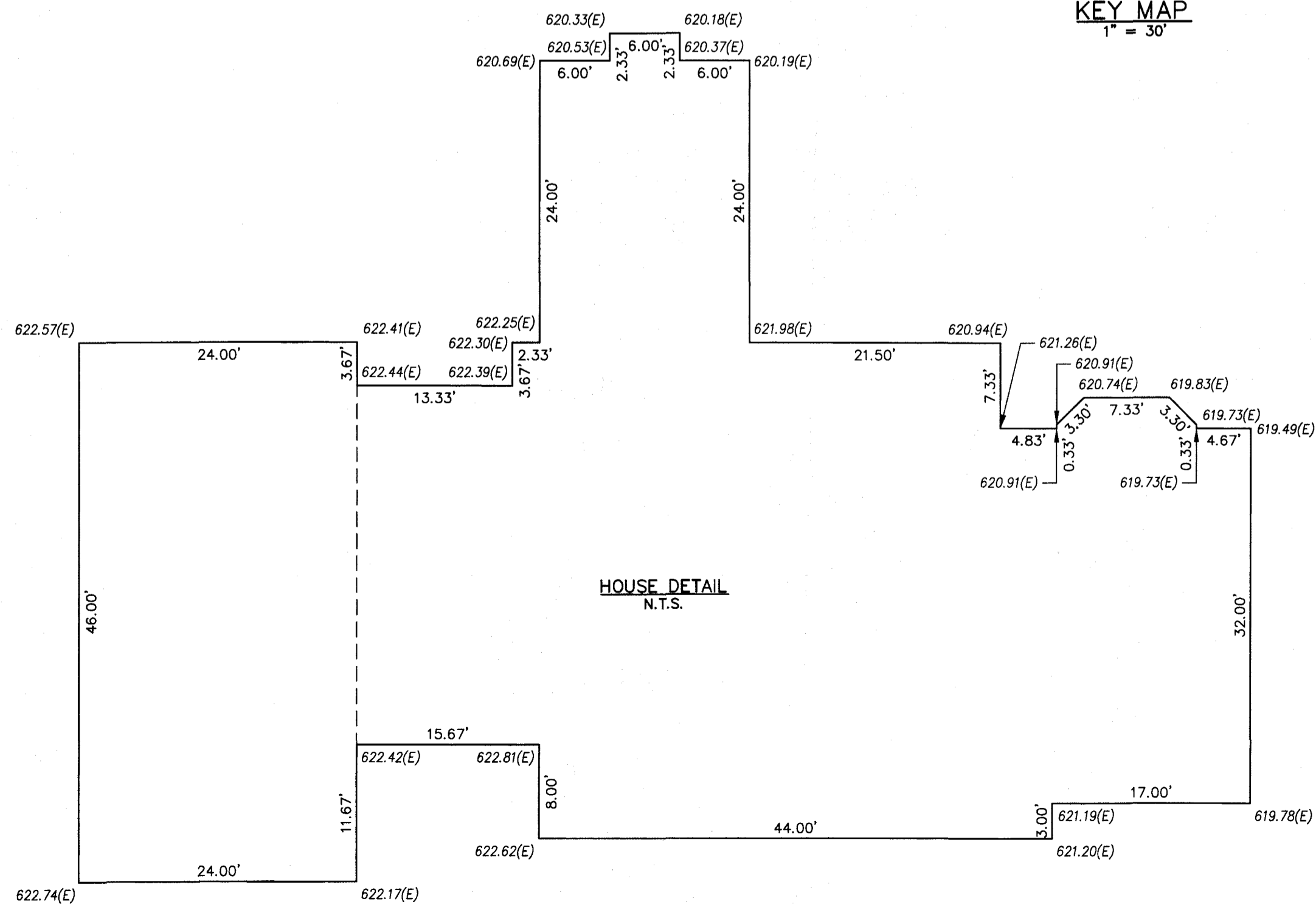
LOT 30

LOT 29

LOT 31

LOT 28

KEY MAP
1" = 30'



AVERAGE EXISTING GRADE CALCULATIONS

ELEVATION	ELEVATION	AVERAGE ELEVATION	LENGTH	AVERAGE EL X L
622.74	622.57	622.66	46.00	28642.13
622.57	622.41	622.49	24.00	14599.76
622.41	622.44	622.43	3.67	2284.30
622.44	622.39	622.42	13.33	8296.79
622.39	622.30	622.35	3.67	2284.01
622.30	622.25	622.28	2.33	1449.90
622.25	620.69	621.47	24.00	14915.28
620.69	620.53	620.61	6.00	3723.66
620.53	620.33	620.43	2.33	1445.60
620.33	620.18	620.26	6.00	3721.53
620.18	620.37	620.28	2.33	1445.24
620.37	620.19	620.28	6.00	3721.66
620.19	621.98	621.09	24.00	14906.04
621.98	620.94	621.46	21.50	13361.39
620.94	621.26	621.10	7.33	4552.66
621.26	620.91	621.09	4.83	2999.84
620.91	620.91	620.91	0.33	204.90
620.74	619.83	620.83	3.30	2048.72
620.74	619.83	620.29	7.33	4546.69
619.83	619.73	619.78	3.30	2045.27
619.73	619.73	619.73	0.33	204.51
619.73	619.49	619.61	4.67	2893.58
619.49	619.78	619.64	32.00	19828.32
619.78	621.19	620.49	17.00	10548.25
621.19	621.20	621.20	3.00	1863.59
621.20	622.62	621.91	44.00	27364.04
622.62	622.81	622.72	8.00	4981.72
622.81	622.42	622.62	15.67	9756.38
622.42	622.17	622.30	11.67	7282.18
622.17	622.74	622.46	24.00	14938.92
TOTAL				231176.88
AVERAGE EXISTING GRADE				621.58

AVERAGE EXISTING GRADE CALCULATION:
THE MAXIMUM HEIGHT OF THE HOUSE SHALL NOT EXCEED 656.58

TITLE NOTES

- FOR EASEMENTS, THE STERLING COMPANY HAS USED, EXCLUSIVELY, A TITLE COMMITMENT BY TITLE PARTNERS AGENCY, LLC, WITH FILE NUMBER 18-229355-MK WITH AN EFFECTIVE DATE OF MAY 9, 2018. THE NOTES REGARDING SCHEDULE B, SECTION II OF ABOVE COMMITMENT ARE AS FOLLOWS:
- ITEMS 1-6: GENERAL EXCEPTIONS NOT PERTAINING TO SURVEY - NO COMMENT BY SURVEYOR.
- ITEM 7: BUILDING LINES, EASEMENTS, CONDITIONS AND RESTRICTIONS AND POWERS OF TRUSTEES ACCORDING TO PLAT BOOK 62 PAGE 49 AND INSTRUMENT RECORDED IN BOOK 3981 PAGE 385 AND ANY SUBSEQUENT AMENDMENTS.
- BUILDING LINES AND EASEMENTS, ACCORDING TO PLAT RECORDED IN PLAT BOOK 62 PAGE 49 ARE SHOWN HEREON. BUILDING LINES PER CURRENT ZONING ARE SHOWN.
- BOOK 3981 PAGE 385 IS AMENDMENT OF RESTRICTIONS AND AFFECT THE SUBJECT TRACT.
- ITEM 8: EASEMENT FOR ST. LOUIS COUNTY WATER COMPANY ACCORDING TO INSTRUMENT RECORDED IN BOOK 3321 PAGE 545. THE EASEMENT AFFECTS THE SUBJECT TRACT AND IS SHOWN HEREON.
- ITEM 9: EASEMENT FOR UNION ELECTRIC COMPANY ACCORDING TO INSTRUMENT RECORDED IN BOOK 3693 PAGE 422. THE EASEMENT AFFECTS THE SUBJECT TRACT AND IS SHOWN HEREON.
- ITEM 10: SEWER DEDICATION FOR METROPOLITAN SEWER DISTRICT ACCORDING TO INSTRUMENT RECORDED IN BOOK 6314 PAGE 165. THE SEWER DEDICATION DOES NOT AFFECT THE SUBJECT TRACT AND IS NOT SHOWN HEREON.
- ITEM 11: SEWER DEDICATION FOR METROPOLITAN SEWER DISTRICT ACCORDING TO INSTRUMENT RECORDED IN BOOK 11195 PAGE 942. BOOK 11195 PAGE 942 IS ACCEPTANCE OF STORM SEWER EASEMENTS AND FACILITIES AND AFFECTS THE SUBJECT TRACT.
- ITEMS 12-13: GENERAL EXCEPTIONS NOT PERTAINING TO SURVEY - NO COMMENT BY SURVEYOR.

SURVEYOR'S NOTES

- THIS TRACT CONTAINS 43,984 SQUARE FEET OR 1.009 ACRES, MORE OR LESS.
- BASIS OF BEARINGS: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "RADCLIFFE", AS RECORDED IN PLAT BOOK 62 PAGE 49 OF CITY OF FRONTENAC, ST. LOUIS COUNTY, MISSOURI.
- SOURCE OF RECORD TITLE: DEED TO CHRISTOPHER KOON & LISA ROSE WILLIAMSON AS RECORDED IN DEED BOOK 23088 PAGE 396 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- BEARINGS AND DISTANCES ARE RECORDED AND SURVEYED UNLESS NOTED OTHERWISE.
- THE PROFESSIONAL SEAL AND PERSONAL SEAL APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMo) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

EXISTING UTILITIES NOTES

- ALL DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE TO CONTACT AND IDENTIFY ALL UTILITIES AND PERFORM WORK IN A SAFE AND RESPONSIBLE MANNER.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONTRACTOR'S WORK OR FOR ANY WORK NOT SPECIFICALLY MENTIONED.

SITE PLAN NOTES:

- ALL EXISTING TREES ARE TO REMAIN UNLESS NOTED OTHERWISE. TREE PROTECTION IS TO BE INSTALLED TO ENSURE THAT THE TREES REMAIN UNHARMED DURING CONSTRUCTION. THE TREE PROTECTION FENCE SHALL BE EITHER CHAIN LINK OR PLASTIC LINK PER CITY STANDARDS.
 - ALL WOOD FRAMING MEMBERS THAT REST ON TOP OF THE FOUNDATION LOCATED LESS THAN 8 INCHES ABOVE THE EXPOSED GROUND AND ALL OTHER WOOD LESS THAN 6 INCHES FROM THE GROUND SHALL BE PRESSURE TREATED IN ACCORDANCE WITH SECTION R319.1.
 - Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
 - Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
 - This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
 - Elevation Examples: 714.0(R)=Existing Elevation, 714.0(P)=Proposed Elevation.
- THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (2 CSR 90-60 AND 20 CSR 2030-16).

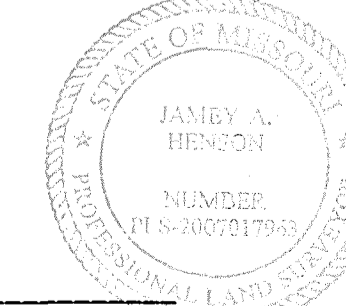
Plot Plan Prepared by
THE STERLING COMPANY (314) 487-0440

- Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for wood frame with brick veneer.
- All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
- Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
- Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
- This plot plan conforms to "2005 ST. LOUIS COUNTY CODE".
- Elevation Examples: 714.0(R)=Existing Elevation, 714.0(P)=Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" (2 CSR 90-60 AND 20 CSR 2030-16).

THE STERLING COMPANY
MO. REG. 307-D

JAMES A. HENSON, P.L.S.
MO. REG. L.S. #2007017983
DATE 12-18-19



MSD Base Map 19N

ISSUE	REMARKS/DATE
1	2-26-18 ORIGINAL ISSUE
2	4-2-18 CITY COMMENTS
3	10-25-18 ADD POOL
4	11-22-18 ADD FRONT PARKING AREA
5	12-09-18 REMOVE REAR WALK
6	12-10-18 REVISE DRIVEWAY (1ST TIME)
7	12-12-18 REVISE DRIVEWAY (2ND TIME)
8	12-17-19 REVISE GRADING

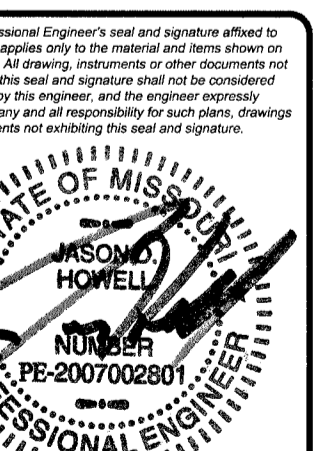
Monterey Custom Homes, Inc.
16371 Wilson Farm Drive
Chestertown, MO 63005
(314) 220-1792

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-467-8940
Corporate Certificate of Authority #001348

#3033 FALLBROOK

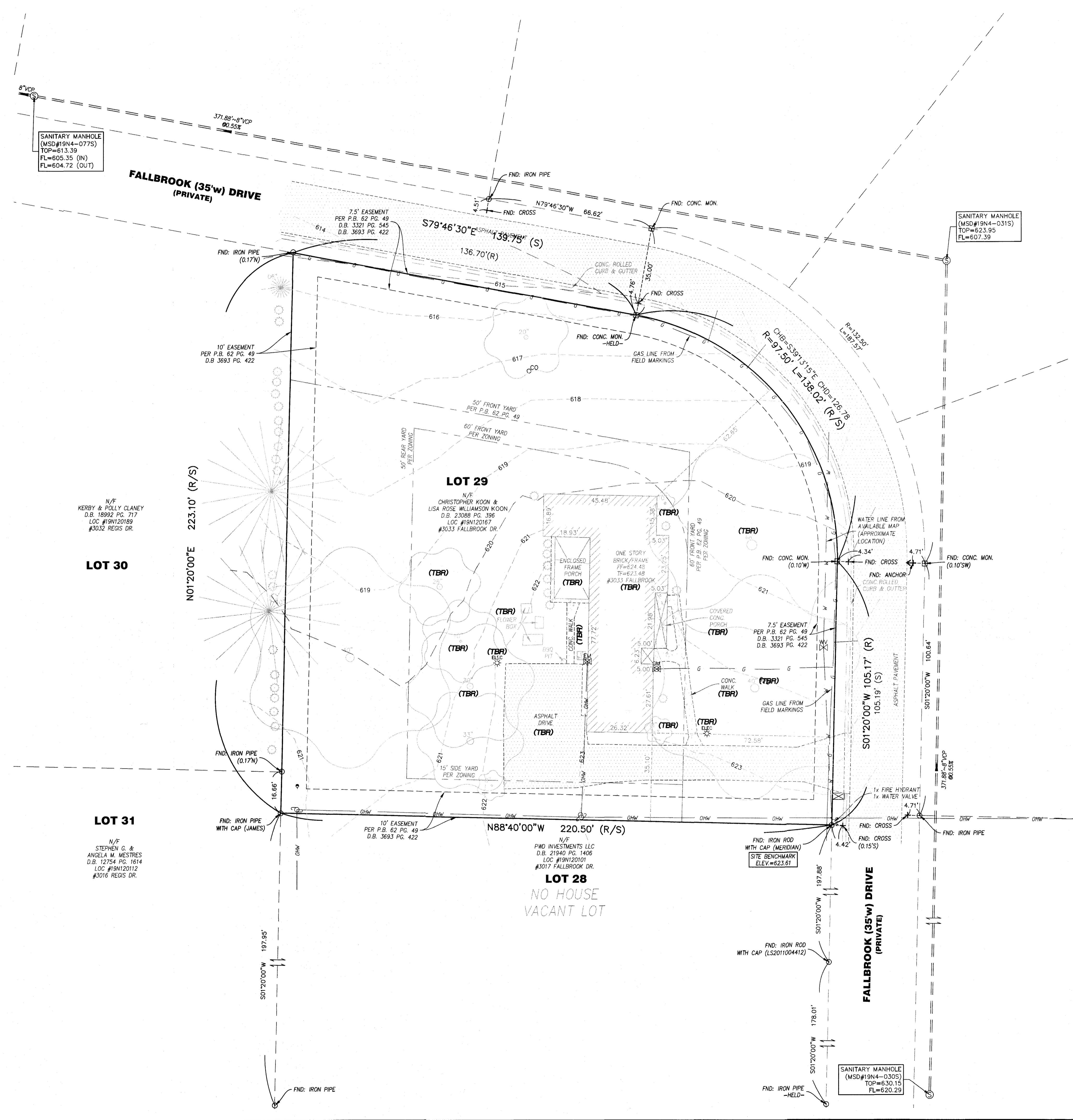
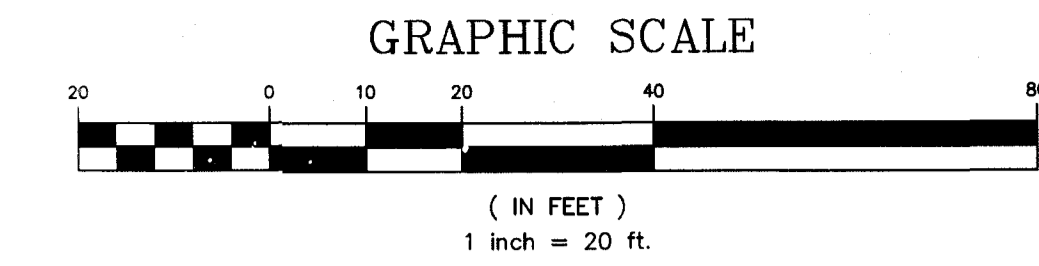
3033 Fallbrook Drive, Frontenac, MO 63131

COVER SHEET
Plot Plan



Date: 12-18-19
JASON D. HOWELL
License No. PE 2007002801
Professional Engineer

Job Number	18-08-239
Date	12/17/2019
Designed: HH	Sheet
Drawn:	1.1
Checked: JD	PP



SANITARY MANHOLE
(MSD#19N4-077S)
TOP=613.39
FL=605.35 (IN)
FL=604.72 (OUT)

SANITARY MANHOLE
(MSD#19N4-031S)
TOP=623.95
FL=607.39

N/F
KERBY & POLLY CLANEY
D.B. 18992 PG. 717
LOC #19N120169
#3032 REGIS DR.

LOT 30

LOT 31
N/F
STEPHEN G. &
ANGELA M. MESTRES
D.B. 12754 PG. 1614
LOC #19N120112
#3016 REGIS DR.

LOT 29
N/F
CHRISTOPHER KOON &
LISA ROSE WILLIAMSON KOON
D.B. 23088 PG. 396
LOC #19N120167
#3033 FALLBROOK DR.

LOT 28
NO HOUSE
VACANT LOT

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

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16371 Wilson Farm Drive
Chesterfield, MO 63005
(314) 220-1792

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#3033 FALLBROOK
DEMOLITION PLAN/EXISTING CONDITIONS
Plot Plan
3033 Fallbrook Drive, Frontenac, MO 63131

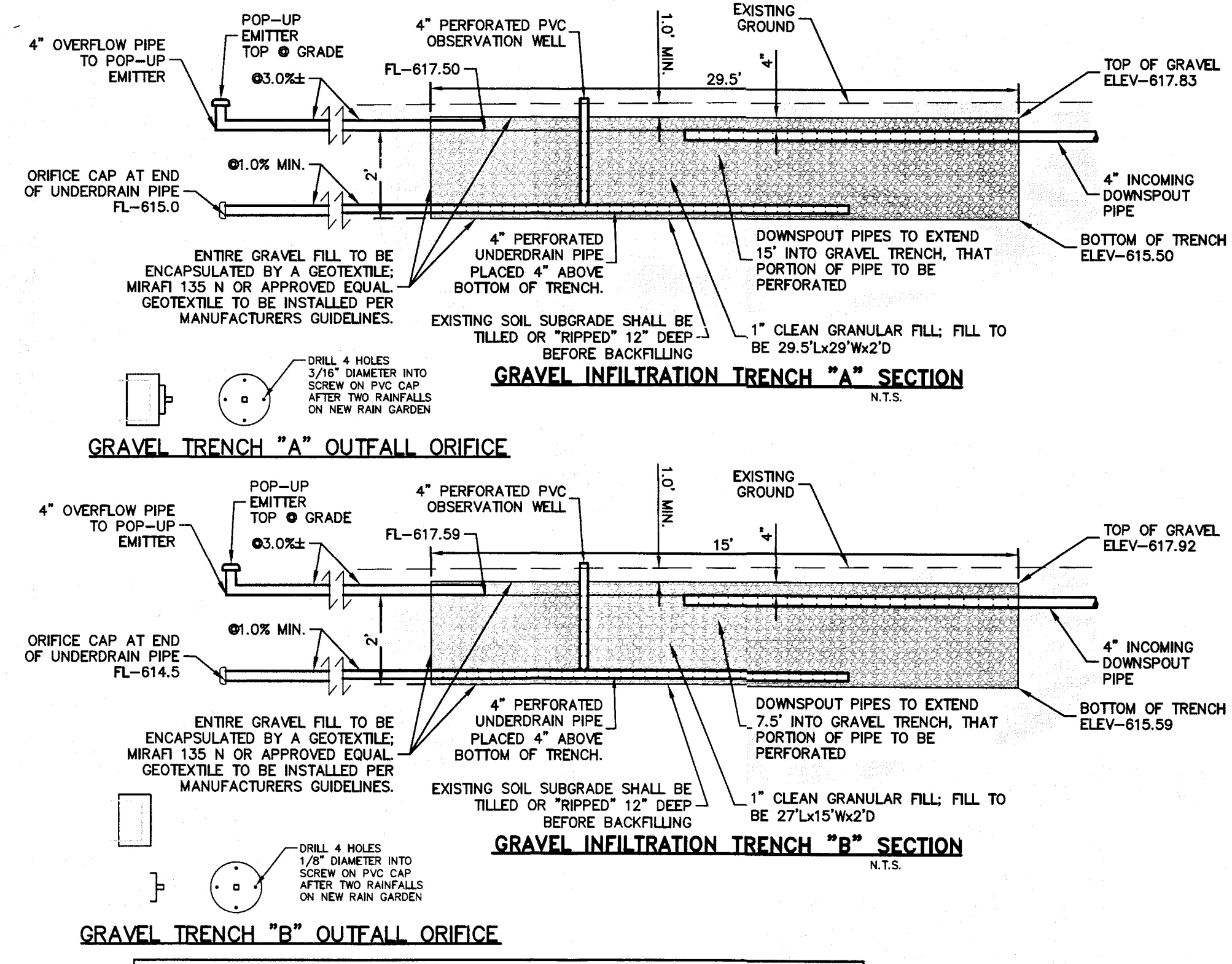
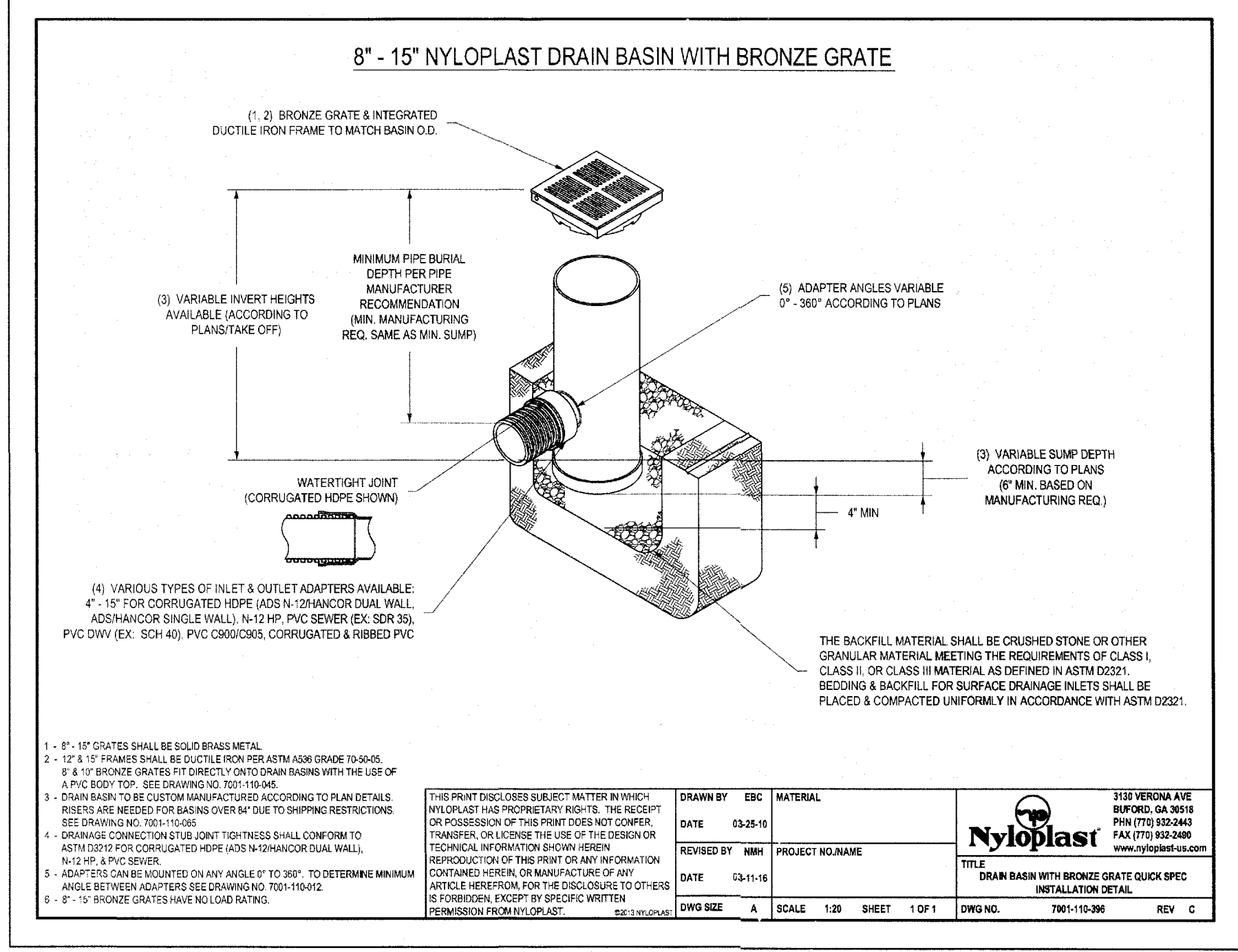
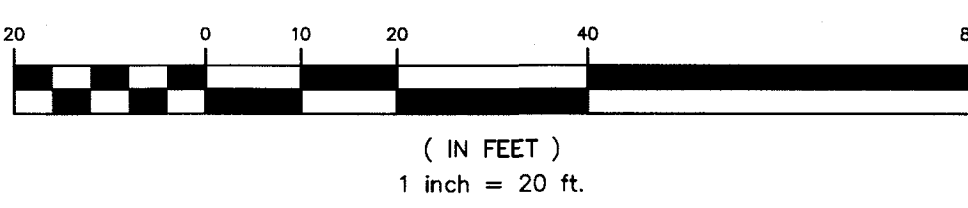
Date: 12-18-19
JASON D. HOWELL
License No. PE 2007002801
Professional Engineer

Job Number
18-08-239
Date
12/17/2019
Designed: HH
Drawn: 2.1
Checked: JD
PP

MSD Base Map 19N

Drawing name: V:\1808239_3033_Fallbrook\Drawings\Surveying\Plot Plan\18-08-239_Site Plan.dwg Plotted on: Dec 17, 2019 - 3:40pm Plotted by: rhuynh

GRAPHIC SCALE



NOTE: PROPOSED STORM WATER BMPs ARE UNDER CITY OF FRONTENAC JURISDICTION.

DETENTION REQUIREMENTS FOR #3033 FALLBROOK DRIVE:
Detention requirements have been completed using The Frontenac requirements for detention.

Required Extended Detention Volume (REDV):
 $(3,870 \text{ s.f.} + (6,883 \times 20)) \times 2.5 = 1093.04 \text{ c.f.}$

Extended Detention Volume (EDV) for Drainage Area "A":
Drainage Area - 4,580 s.f.
Impervious Area - 3,350 s.f.
Percentage Impervious - 73.14%
 $R_v = 0.05 + (0.009 \times 73.14) = 0.71$
 $EDV = 2.5 \times 0.71 \times 3,350 = 675.80 \text{ c.f.}$

Extended Detention Volume (EDV) for Drainage Area "B":
Drainage Area - 1,618 s.f.
Impervious Area - 1,618 s.f.
Percentage Impervious - 100%
 $R_v = 0.05 + (0.009 \times 100) = 0.95$
 $EDV = 2.5 \times 0.95 \times 1,618 = 320.23 \text{ c.f.}$

TOTAL EDV = 996.03 c.f.
TOTAL EDV IS 91.12% OF REDV MEETING THE NECESSARY REQUIREMENT!

GRAVEL TRENCH "A"	GRAVEL TRENCH "B"
VOLUME PROVIDED = 29.5' X 29' X 2' = 1,711 c.f.	VOLUME PROVIDED = 27' X 15' X 2' = 810 c.f.
ASSUME: 40% VOID	ASSUME: 40% VOID
1,711 c.f. x 0.4 = 684.40 c.f. AVAILABLE	810 c.f. x 0.4 = 324.00 c.f. AVAILABLE
684.40 c.f. > 675.80 c.f.	324.00 c.f. > 320.23 c.f.

IMPERVIOUS AREA TABLE

EXISTING IMPERVIOUS AREA	PROPOSED IMPERVIOUS AREA	AREA CHANGE
6,883	10,753	3,870

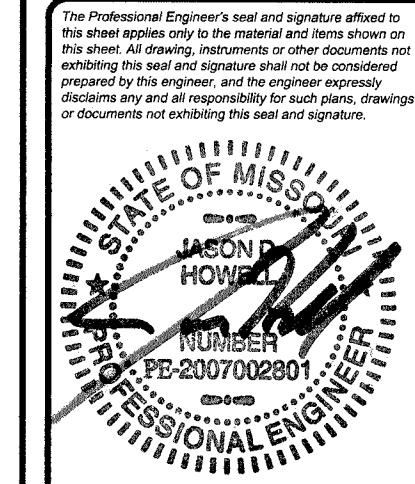
REMARKS/DATE

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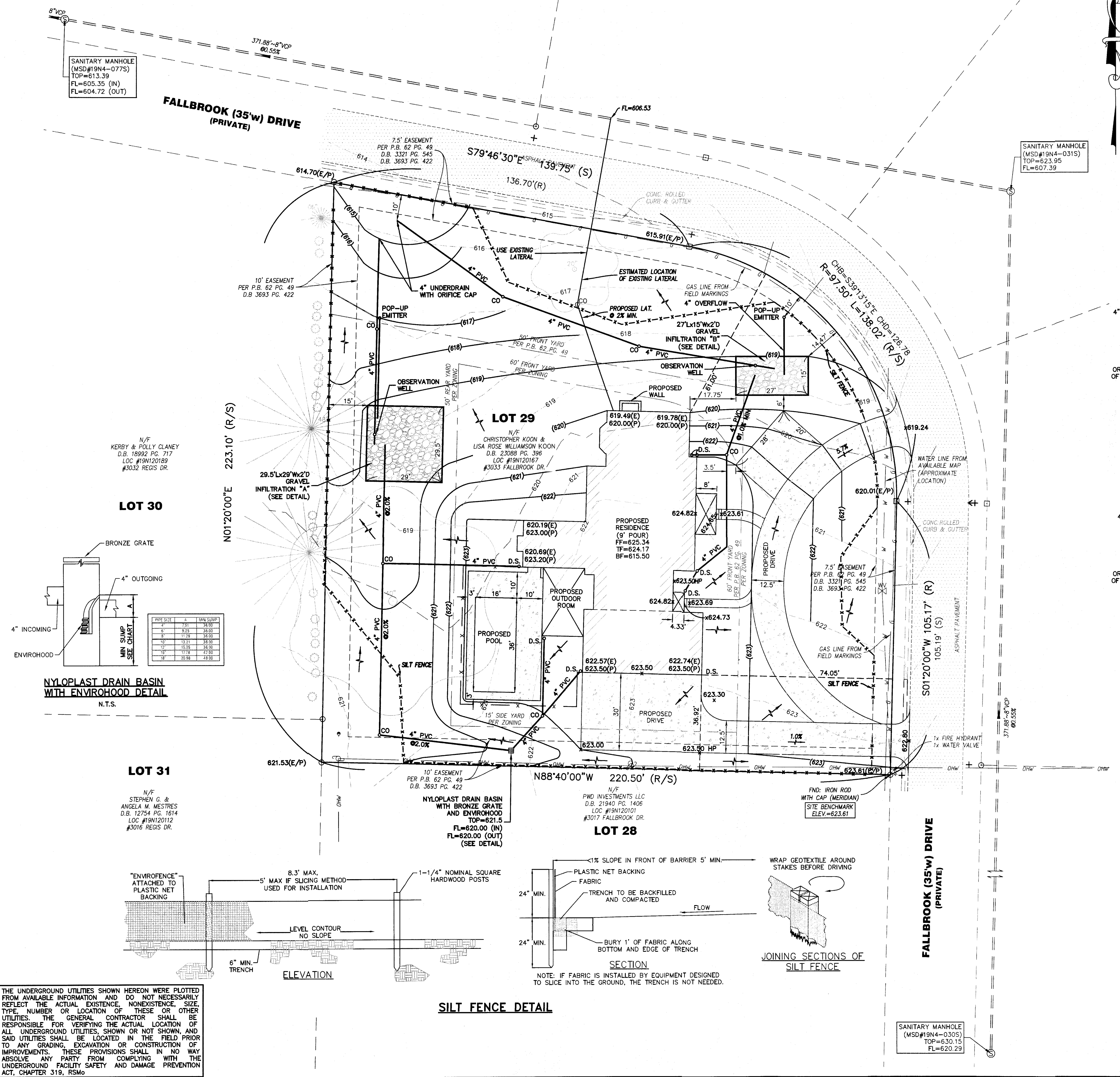
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Corporate Certificate of Authority #001348

#3033 FALLBROOK
SITE/GRADING PLAN
Plot Plan
3033 Fallbrook Drive, Frontenac, MO 63131

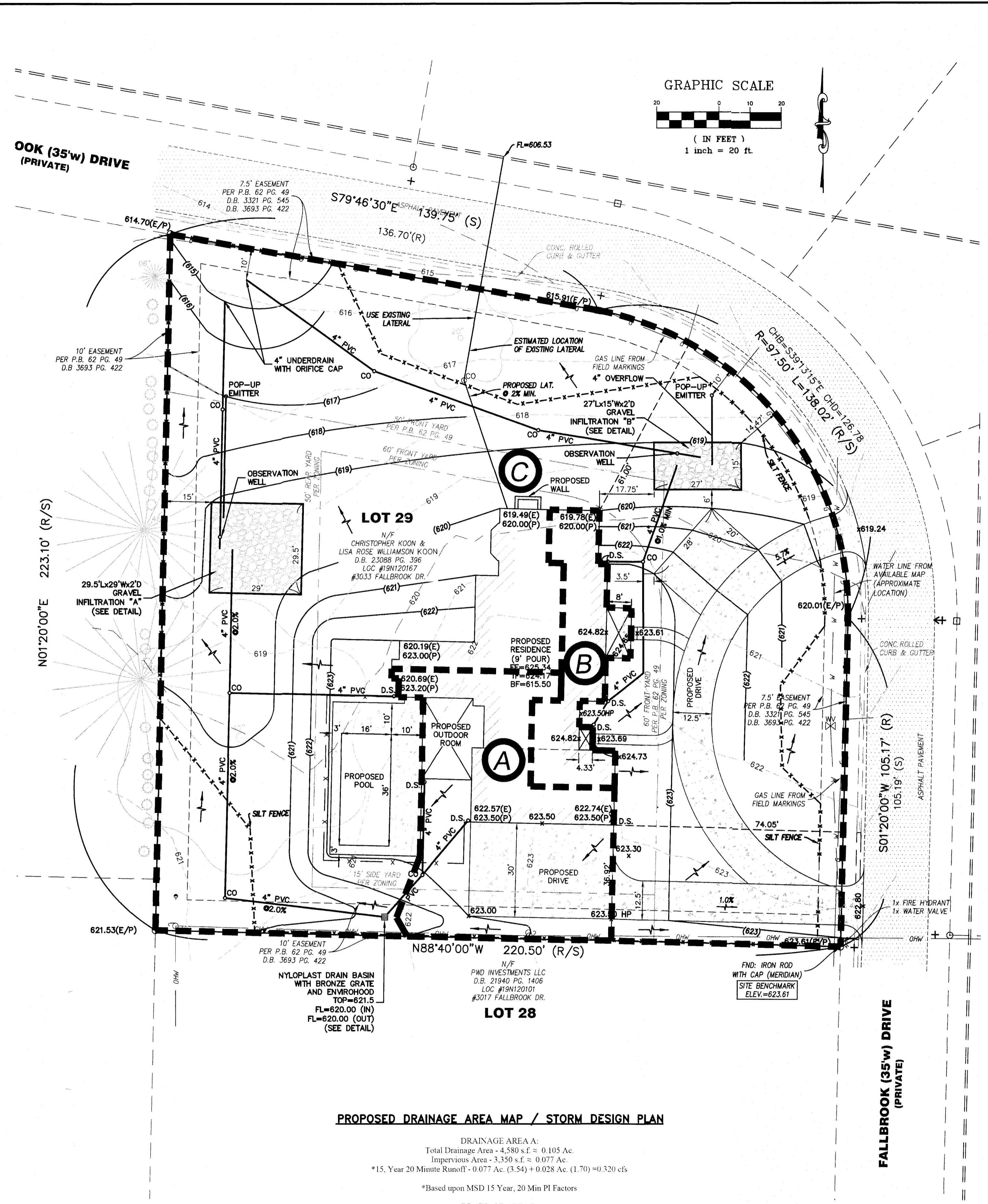
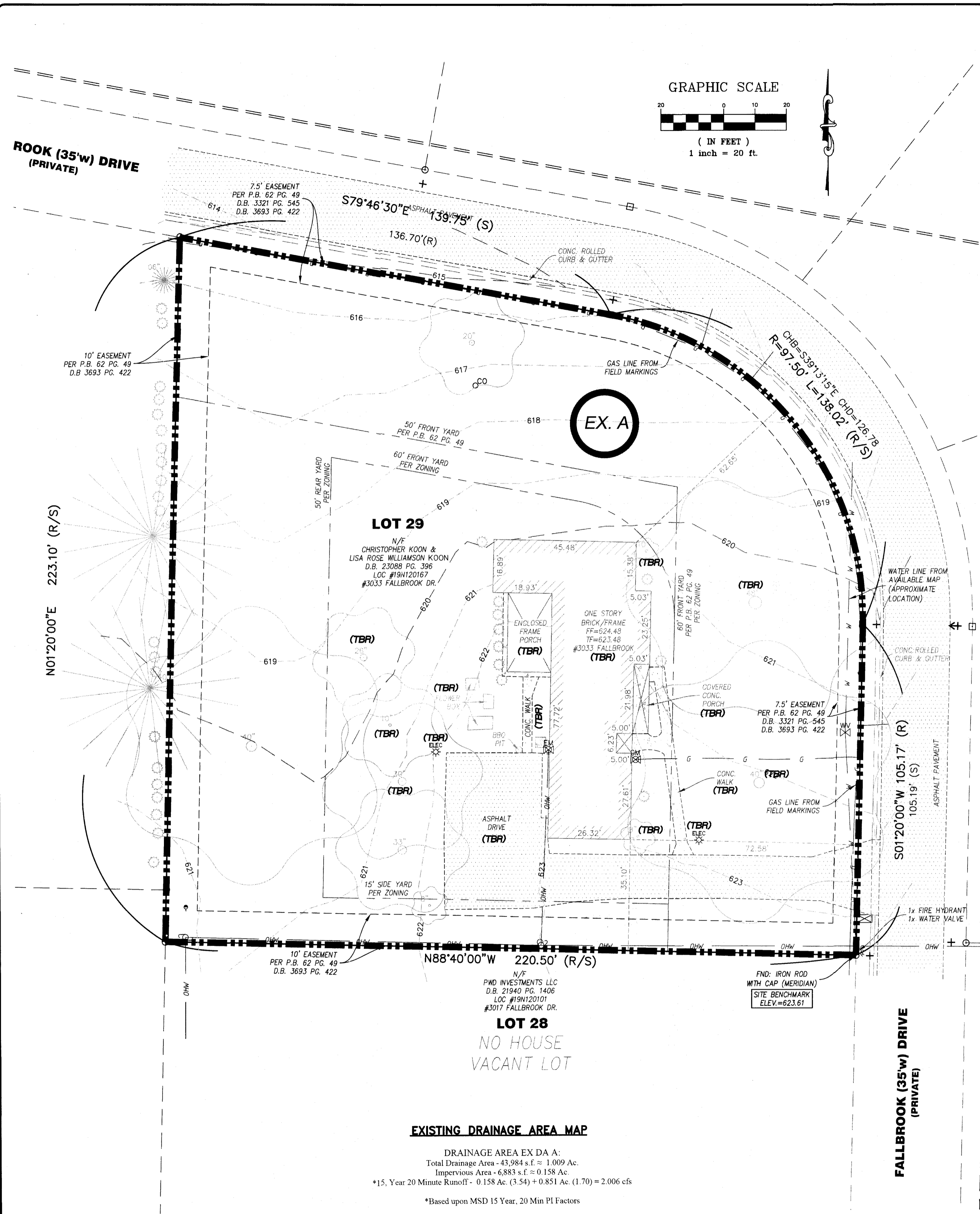


Date: 12-17-19
JASON D. HOWELL
License No. PE-2007002801
Professional Engineer
Job Number: 18-08-239
Date: 12/17/2019
Designed: HH Sheet: 3.1
Drawn: PP
Checked: JD



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Drawing name: V:\16060303_3033 Fallbrook\Drawings\Surveying\Plot Plan\18-08-239 Site Plan.dwg Plotted on: Dec 17, 2019 - 3:41pm Plotted by: jhowell



Drawing name: V:\160629\3033 Fallbrook\Drawings\Surveying\Plot Plan\16-08-29 Site Plan.dwg Plotted on: Dec 17, 2019 - 3:47pm Plotted by: jhuyang

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

EXISTING DRAINAGE AREA MAP

DRAINAGE AREA EX DA A:
Total Drainage Area - 43.984 s.f. = 1.009 Ac.
Impervious Area - 6.883 s.f. = 0.158 Ac.
*15, Year 20 Minute Runoff - 0.158 Ac. (3.54) + 0.851 Ac. (1.70) = 2.006 cfs

*Based upon MSD 15 Year, 20 Min PI Factors

TOTAL EXISTING IMPERVIOUS AREA: 6.883 s.f. = 0.158 Ac.

PROPOSED DRAINAGE AREA MAP / STORM DESIGN PLAN

DRAINAGE AREA A:
Total Drainage Area - 4.580 s.f. = 0.105 Ac.
Impervious Area - 3.350 s.f. = 0.077 Ac.
*15, Year 20 Minute Runoff - 0.077 Ac. (3.54) + 0.028 Ac. (1.70) = 0.320 cfs

*Based upon MSD 15 Year, 20 Min PI Factors

DRAINAGE AREA B:
Total Drainage Area - 1.618 s.f. = 0.037 Ac.
Impervious area - 1.618 s.f. = 0.037 Ac.
*15, Year 20 Minute Runoff - 0.037 Ac. (3.54) + 0.000 Ac. (1.70) = 0.131 cfs

*Based Upon MSD 15 Year, 20 Min PI Factors

DRAINAGE AREA C:
Total Drainage Area - 37.786 s.f. = 0.867 Ac.
Impervious area - 5.785 s.f. = 0.133 Ac.
*15, Year 20 Minute Runoff - 0.133 Ac. (3.54) + 0.734 Ac. (1.70) = 1.686 cfs

*Based Upon MSD 15 Year, 20 Min PI Factors

TOTAL PROPOSED IMPERVIOUS AREA: 10.753 s.f. = 0.247 Ac.

MSD Base Map 19N

ISSUE	REMARKS/DATE
1	2-28-19 ORIGINAL ISSUE
2	4-2-19 CITY COMMENTS
3	10-25-19 ADD POOL
4	11-22-19 ADD FRONT PARKING AREA
5	12-09-19 REMOVE REAR WALK
6	12-10-19 REVISE DRIVEWAY (1ST TIME)
7	12-12-19 REVISE DRIVEWAY (2ND TIME)
8	12-17-19 REVISE GRADING

Monterey Custom Homes, Inc.
16371 Wilson Farm Drive
Chestertown, MD 20705
(314) 220-1792

THE STERLING CO.
ENGINEERS & SURVEYORS

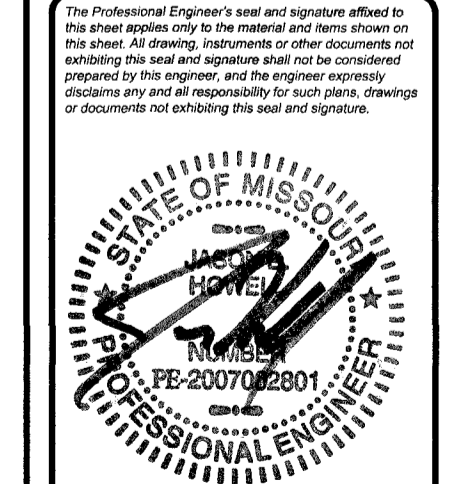
5065 New Baumgardner Road
SST
Ph 314-487-0440 Fax 314-487-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

#3033 FALLBROOK

3033 Fallbrook Drive, Frontenac, MO 63131

EXISTING/PROPOSED DRAINAGE AREA MAPS

Plot Plan



Date: 12-17-19
JASON D. HOWELL
License No. PE 2007002801
Professional Engineer

Job Number	18-08-239
Date	12/17/2019
Designed: HH	Sheet
Drawn:	4.1
Checked: JD	PP